

**SITE DEVELOPMENT PLAN 1:200**  
**LOT 9 - DP 13304 / 638 sq.m.**

## GENERAL NOTES

Drawings to be read in construction with Structural Engineers Details.

Figured dimensions to be taken in preference to scaling from drawings.

Development / construction to comply with Councils development consent and conditions.

Provide mechanical ventilation to all internal bathrooms.

All disabled facilities to be in accordance with AS 1428.1 - 2009 and AS1428.2 - 1992.

Contractors to ensure all construction and glazing is in accordance with ABSA and Basix Certificate specifications.

To be read in conjunction with Site Survey provided by Bissett & Wright Registered Surveyors of East Gosford.

## FENCING DETAILS

### GENERAL NOTES

- Provide selected timber 'slatted' decorative fencing / gates as required
- New 1800 high Colorbond fencing to western and northern boundary
- 1800 high selected colorbond fencing to common open space areas

### DECORATIVE FENCE / SCREEN NOTES

Provide decorative 1500 high fencing / privacy screens as / where noted. 1500 high decorative timber or steel posts on galvanized support brackets 2400 wide x 1500 high selected 'slatted' timber or steel infill panels To be stained / painted as selected

### FRONT PORTICO ENTRY AREA

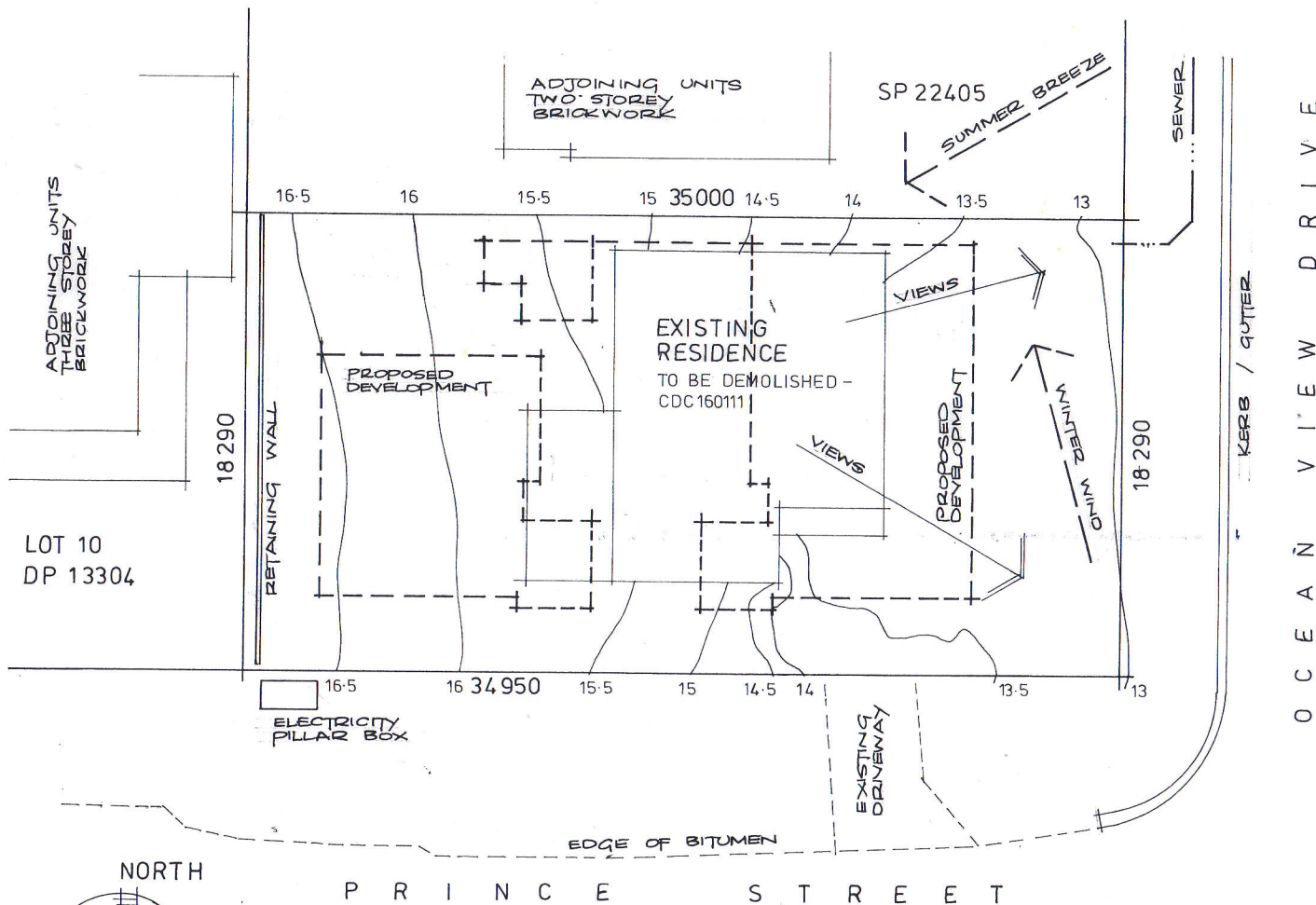
1500 high 'pool' style metal fencing as selected  
 Provide a 1000 wide entry gate to match

## PROPOSED BOARDING HOUSE DEVELOPMENT

Location : LOT 9 in DP 13304 - 100 OCEAN VIEW DRIVE, WAMBERAL.

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 Drawing 1 of 14



The site is currently vacant – CDC 160111  
 Site has consistent fall to the eastern boundary  
 Contours at 0.5 intervals to AHD – refer Survey plan  
 Site is not subject to mines subsidence  
 Site is not subject to flooding / restrictions / covenants  
 Site is subject to right of ways / easements  
 Site is not subject to land features  
 Orientation of site to true north is shown  
 Prevailing summer breezes are from the north - east  
 Prevailing winter winds are from the south  
 The adjoining northern site has two storey brick units  
 The adjoining western site has three storey brick units  
 Water, electricity and sewer are located in the Ocean View Drive frontage.

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 Bisset & Wright – Registered Surveyors of East Gosford.

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 Drawing 2 of 14

## **MATERIAL / EXTERNAL FINISHES SCHEDULE**

### **Floors**

Reinforced concrete slabs to Engineers Details to basement, main and upper floor levels  
Provide metal furring channels with insulation and 13mm plasterboard to underside of upper floor level.

Waterproof membrane on sand bedding to underside of slab as required

Floor slabs to be set down in wet areas

Carpet / Ceramic floor tiles / Sheet vinyl as selected

Ceramic floor tiles to wet areas

### **Walls**

External 190 blockwork walls – core filled to engineers detail / painted

Common walls to be 190 blockwork core filled to engineers detail

Common walls to be taken to underside of roof finish

Provide plasterboard / firechek sheeting to face of internal walls if / as required

Timber framed walls internally / plasterboard sheeting or as selected

Villaboard sheeting to walls of wet areas

Ceramic walls tiles to wet areas as selected

Provide mechanical ventilation to internal bathrooms as / if required

### **Roof**

Colorbond metal roof sheeting as selected

Timber roof construction / framing as required

Plasterboard ceilings / cornices / paint finish

Fibrous cement sheeting to eaves soffit / paint finish

'Colorbond' fascia, gutter / downpipes as selected

Provide all necessary cappings, flashings, fixings to roof as required

### **Windows**

Aluminium framed windows / colour as selected

Aluminium sliding doors to match windows

### **Doors**

Solid core 920 wide decorative entry doors as selected

Hollow core internal doors / selected finish

2500 high x 5000 wide selected Garage door

### **Deck Areas**

Cantilevered reinforced concrete slab as required to engineers detail

1000 high selected balustrades with

1500 high Privacy Screens as required

### **Entry Portico**

Concrete pathway / ramps for disabled pedestrian access

Decorative 300mm x 300mm timber posts – roof beams over

500 high timber framed parapet roof band – metal tray sheeting / internal box gutter

**Construction and insulation as per ABSA Specification as prepared**

**Solar Smart of Swansea.**

## **Basix Notes**

### **The Following Specifications**

#### **Apply to this Development**

##### **RAINWATER TANK (Central)**

- Min 5000litre capacity Rainwater tank to be installed in accordance with all relevant Authorities and Manufacturers Specifications, to be fed by runoff from Min140 metres of roof.

- Rainwater Tank to feed Toilets, Laundries & Landscaping throughout

##### **WATER FIXTURES**

- 3 Star Showers and Tapware to be installed.
- 4 Star Toilets to be installed.

##### **HOT WATER SYSTEM**

- HWS - Gas Instantaneous Min. 6 Star Efficiency

##### **HEATING / COOLING**

- 1-Phase Air Cond. Min 3.5 Star Energy Efficiency

##### **VENTILATION / ELECTRICAL**

- Ind. fan, manual switch to Kitchen
- Ducted Ind. fan, manual switch Bathrooms
- Ducted Ind. fan, manual switch to Laundries

##### **LIGHTING**

- LED/Fluoro Lighting Throughout Dwellings

##### **COMMON AREAS**

- Common area Lighting, Appliances & Control measures as per current Basix Certificate
- Gearless traction with VVVF motor to be installed
- 

##### **OTHER**

- Gas, Cooktop/Elec. Oven to each Dwelling
- Min 1kW Photovoltaic System to be installed
- Contractors to ensure all Construction, Appliances, Fixtures and Glazing in accordance with Current BDAV and Basix Certificate Specifications

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June, 2016  
Drawing 3 of 14



## ALUMINIUM WINDOW SCHEDULE

Window sizes indicated are standard frame sizes and stud opening sizes are to be confirmed / adjusted with the selected manufacturer.

All windows to be in accordance with BCA, Standards Association of Australia and the ABSA Specification.

### Legend

Sliding Window	S/W	Double Hung	D/H	Louvres	L/G
Fixed glass	F/G	Obscure Glass	O/G	Awning Window	A/W

### MAIN FLOOR LEVEL

Location	Height	Width	Comment
Room 1	600	1800	S/W
Room 1 Bathroom	2000	800	D/H – O/G
Room 2 Bathroom	400	1500	S/W – O/G
Room 3	600	1800	S/W
Room 3 Bathroom	2000	800	D/H – O/G
Common Room	600	1800	S/W
Common Room Bathroom	2000	800	A/W – O/G
Room 4	600	1800	S/W
Room 4 Bathroom	400	1500	S/W – O/G
Stair to Basement	2000	800	D/H
Stair to Rooms 5,6,7	1500	800	D/H
Stair to Rooms 8,9	1500	800	D/H

### UPPER FLOOR LEVEL

Location	Height	Width	Comment
Room 5	600	1800	S/W
Room 5 Bathroom	2000	800	D/H – O/G
Room 5 Entry	2000	800	D/H
Room 5 Highlights	800	2700	L/G
Room 6 Bathroom	400	1500	S/W – O/G
Room 6 Highlights	800	2700	L/G
Room 7	600	1800	S/W
Room 7 Bathroom	2000	800	D/H – O/G
Room 7 Highlights	800	2700	L/G
Room 8 Bathroom	2000	800	D/H – O/G
Room 8 Highlights	800	2700	L/G
Room 9 Bathroom	400	1500	S/W – O/G
Room 9 Highlights	800	2700	L/G

### Notes

Windows to be fire rated or be provided with fire rated shutters as per BCA Fire requirements / regulations.  
All upper storey windows to be in accordance with the BCA Housing Provisions – Openable Windows.

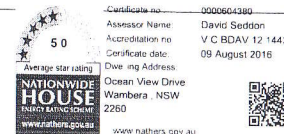
## ALUMINIUM DOOR SCHEDULE

Aluminium sliding door sizes are indicated as frame sizes and stud opening sizes are to be confirmed / adjusted with selected manufacturer.

Location	Height	Width
Room 1	2200	2700
Room 2	2200	2700
Room 3	2200	2700
Room 4	2200	2700
Room 5	2200	2700
Room 6	2200	2700
Room 7	2200	2700
Room 8	2200	2700
Room 9	2200	2700
Common Room	2200	2700

### Thermal Specifications

Assessor #	VIC/BDAY/12/1443	Certificate#	0000542970	Issued:	09Aug16
Windows	Generics CSIRO Uval 6.7 SHGC 0.70 Or Equivalent: Min Uval as shown and SHGC +/- 10% as shown	Orientation From North	0		
External Wall:	Concrete Block Lined, No Insulation	Terrain Category	Suburban		
Internal Wall	Cavity Panel No Insulation Concrete Panel/Blocks Filled, Plasterboard, No Insulation	Subfloor Ventilation	Open		
External Floor	Suspended Concrete Slab No Insulation Default Coverings	Living Area Open to Entry	Yes		
Internal Floor	Suspended Concrete Slab No Insulation Default Coverings	Seals to Ext Doors & Windows	Yes		
Ceiling	Plasterboard Bulk Insulation R3.5	Exhaust Fan without Dampers	No		
Roof Metal Roof. Foil Backed Bulk Insulation. Unventilated		Ventilated Skylight	No		
		Open Fire/Unflued Gas Heater	No		
		Vented Downlights	No		
		Wall & Ceiling Vents	No		

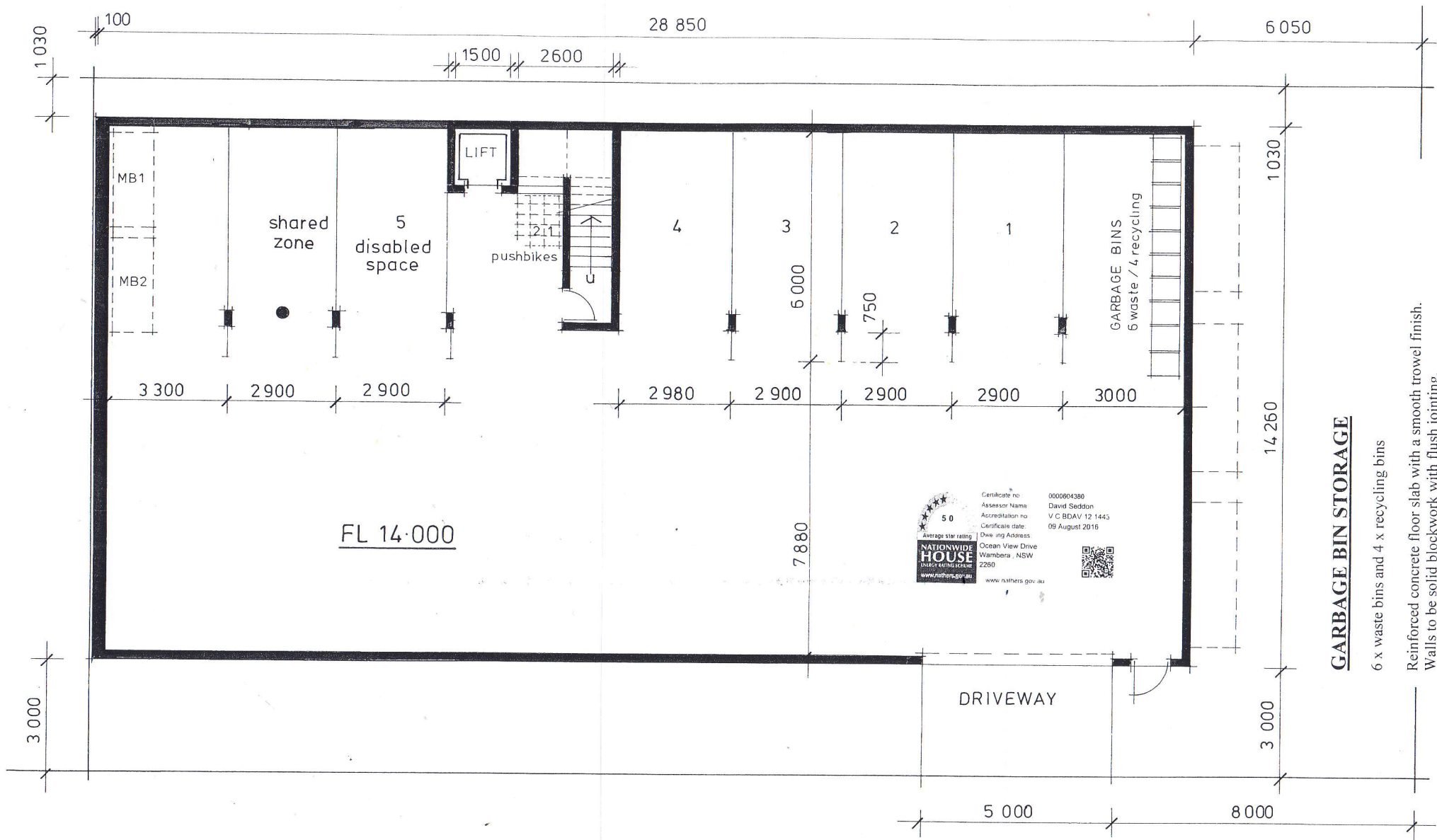


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June, 2016  
Drawing 4 of 14



### GARBAGE BIN STORAGE

6 x waste bins and 4 x recycling bins

Reinforced concrete floor slab with a smooth trowel finish.

Walls to be solid blockwork with flush jointing.

Wall and floor junctions to be covered having a minimum 25mm radius.

Hot / cold water hose cocks to be located in close proximity to facilitate cleaning.

Weekly maintenance of bin enclosure / garden / landscaped areas  
To be collected by Council contractor on nominated collection day

### BASEMENT CARPARKING / GARAGE

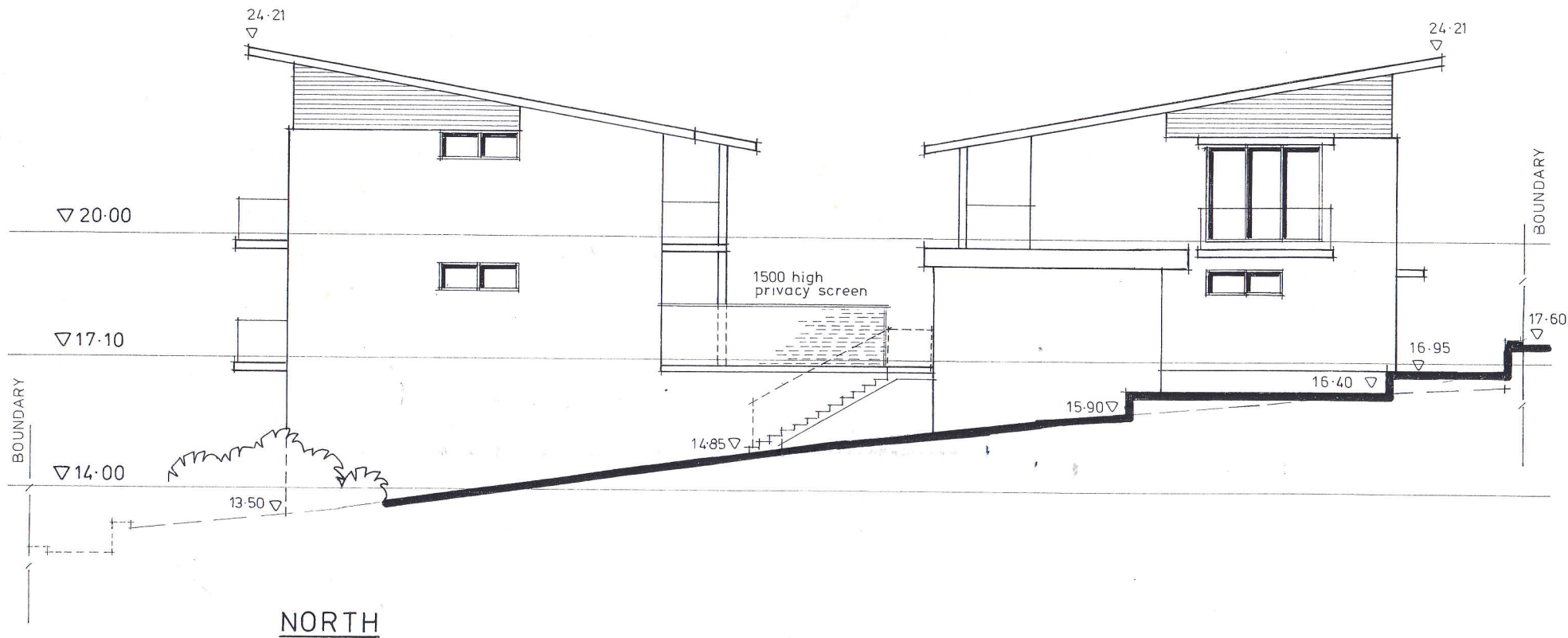
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June, 2016  
Drawing 5 of 14



Certificate no: 0000604380  
 Assessor Name: David Seddon  
 Accreditation no: V.C. BDAV 12 1443  
 Certificate date: 09 August 2016  
 Drawing Address:  
 Ocean View Drive  
 Wamberal, NSW  
 2260  
[www.nathere.gov.au](http://www.nathere.gov.au)



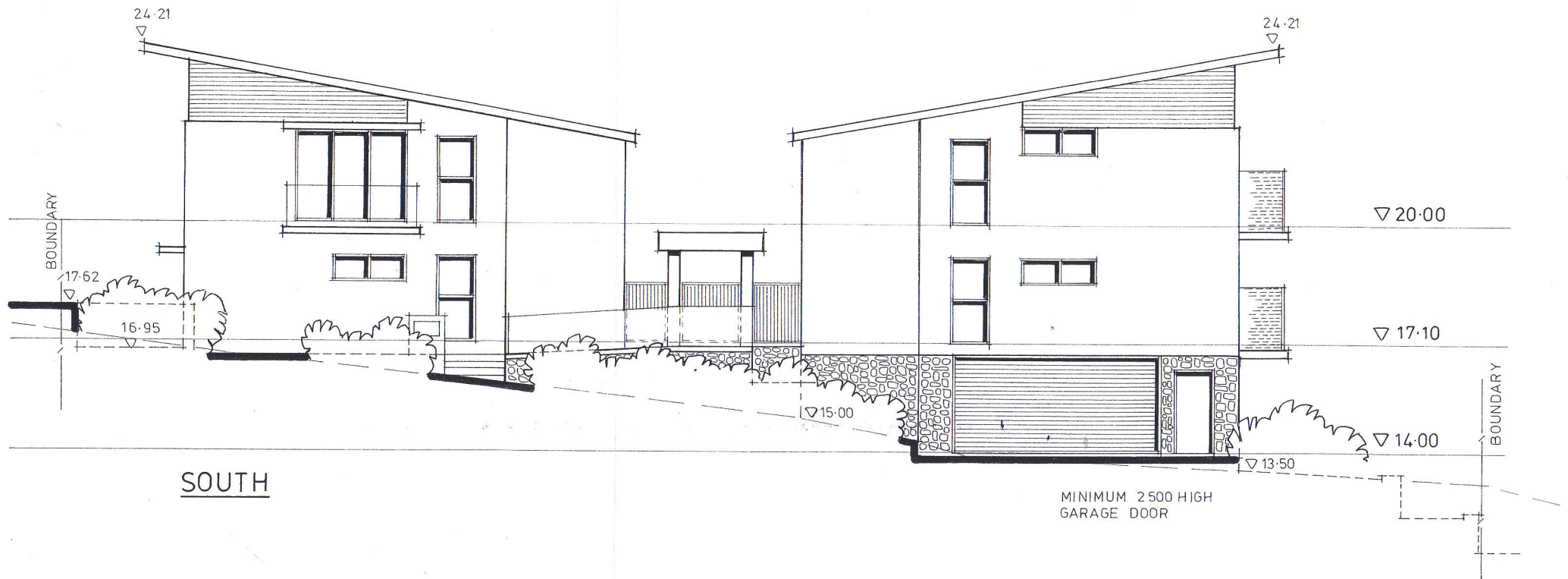
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June, 2016  
 Drawing 8 of 14





Certificate no. 0000604380  
 Assessor Name David Seddon  
 Accreditation no. V C BDAV 12 1443  
 Certificate date 05 August 2016

Owning Address  
 Ocean View Drive  
 Wamberal, NSW  
 2260

www.natnere.gov.au

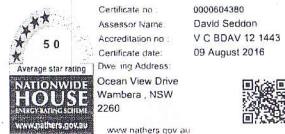


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June, 2016  
 Drawing 9 of 14



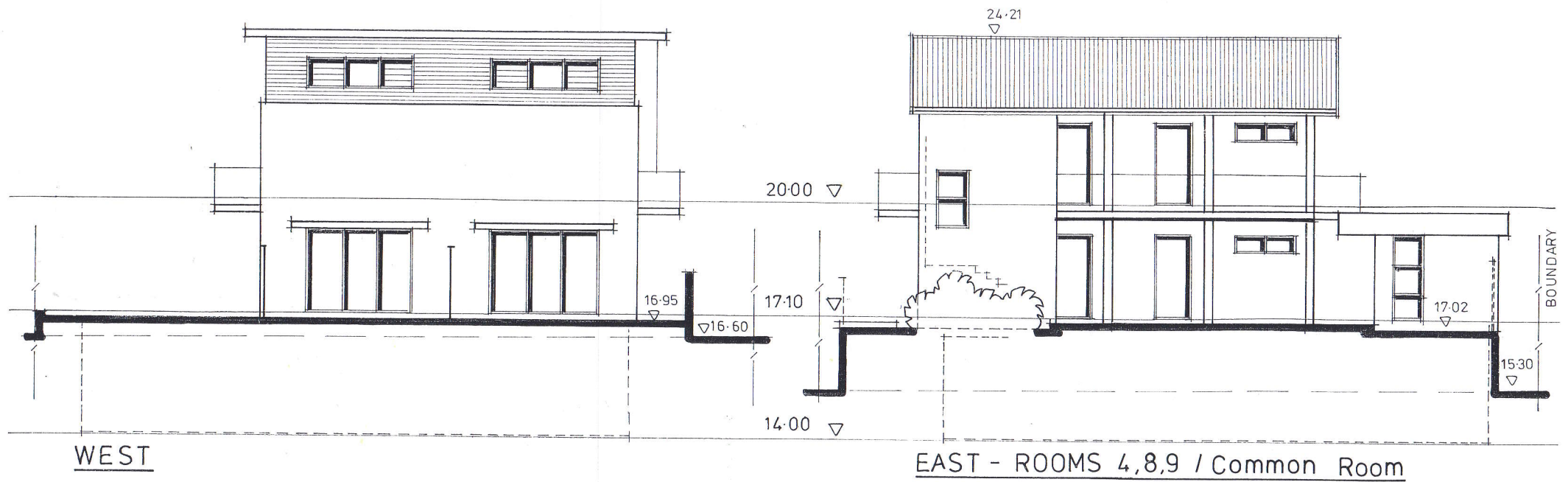
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June, 2016  
Drawing 10 of 14



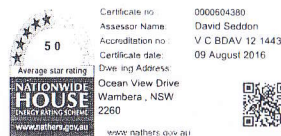
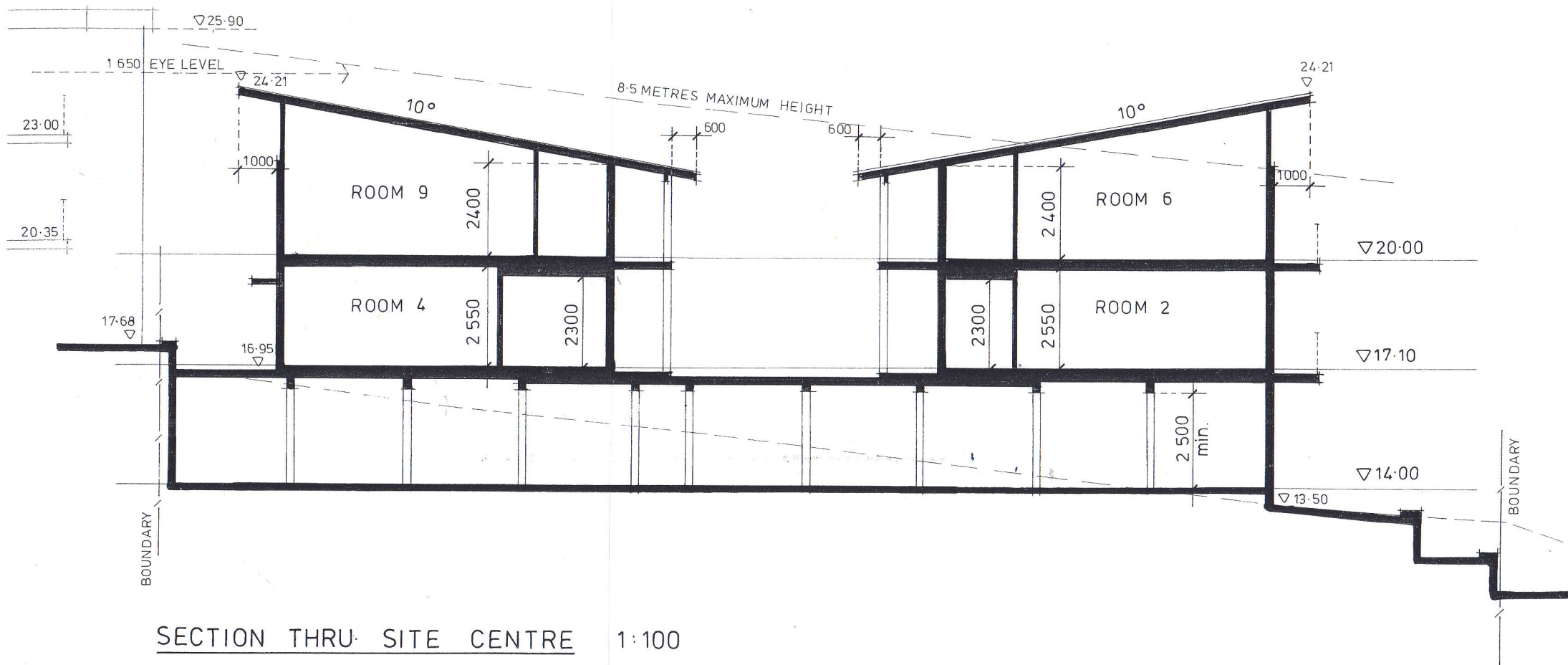


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June, 2016  
Drawing 11 of 14

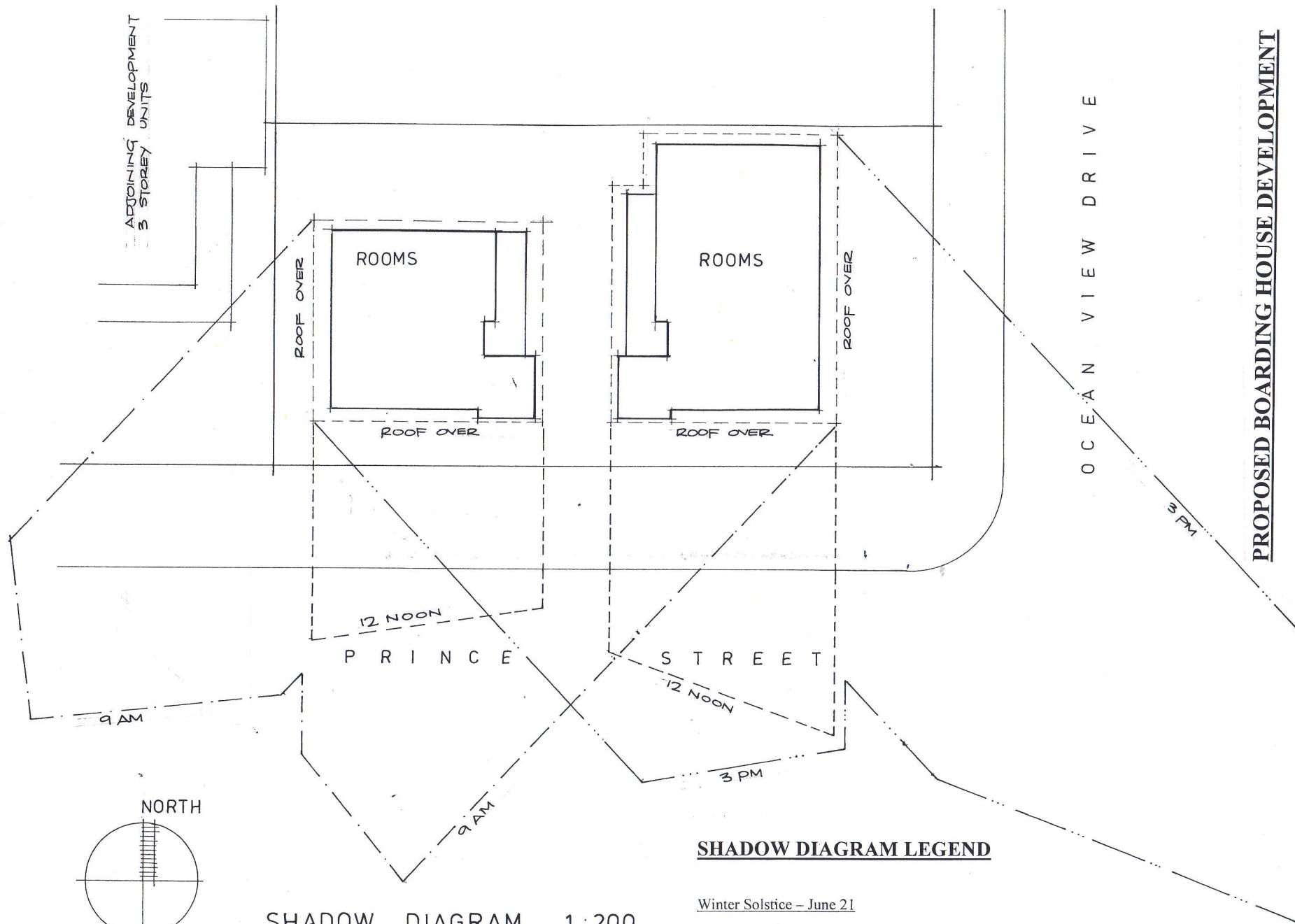


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June, 2016  
Drawing 12 of 14



SHADOW DIAGRAM 1:200

SHADOW DIAGRAM LEGEND

Winter Solstice – June 21

- · — · — 9 am
- - - - - 12 noon
- · — · — 3 pm

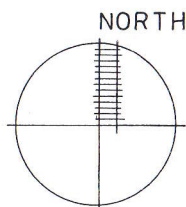
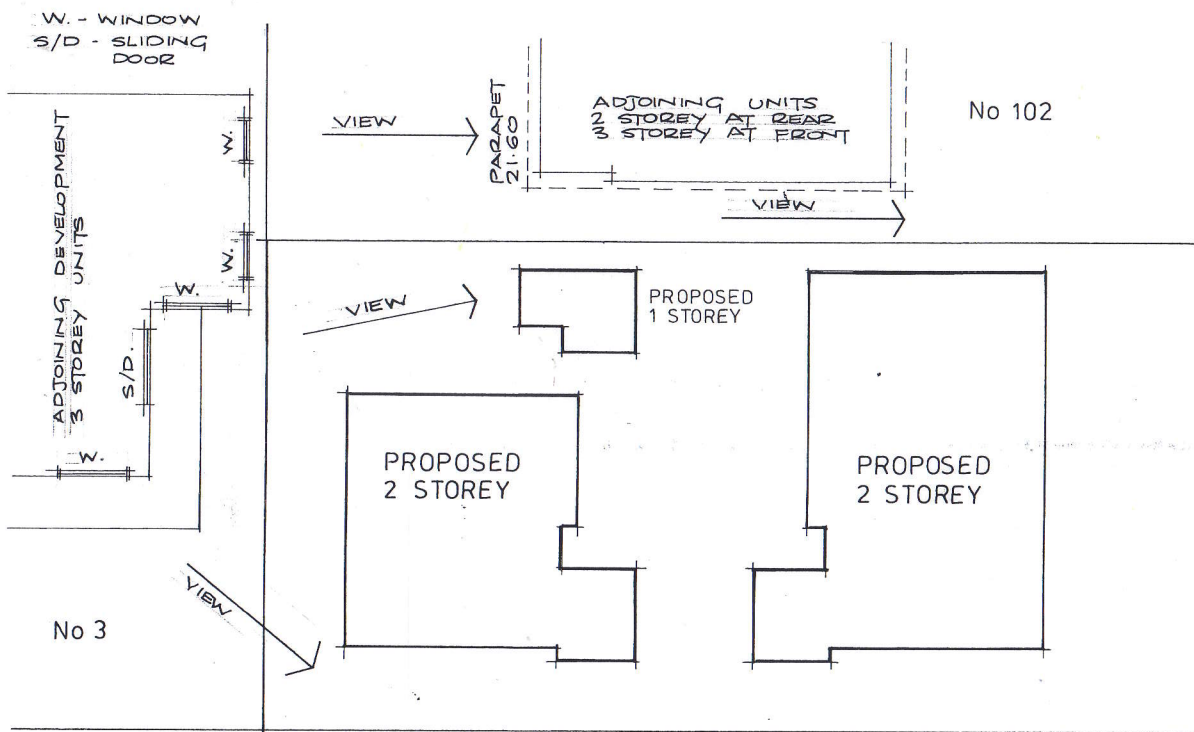
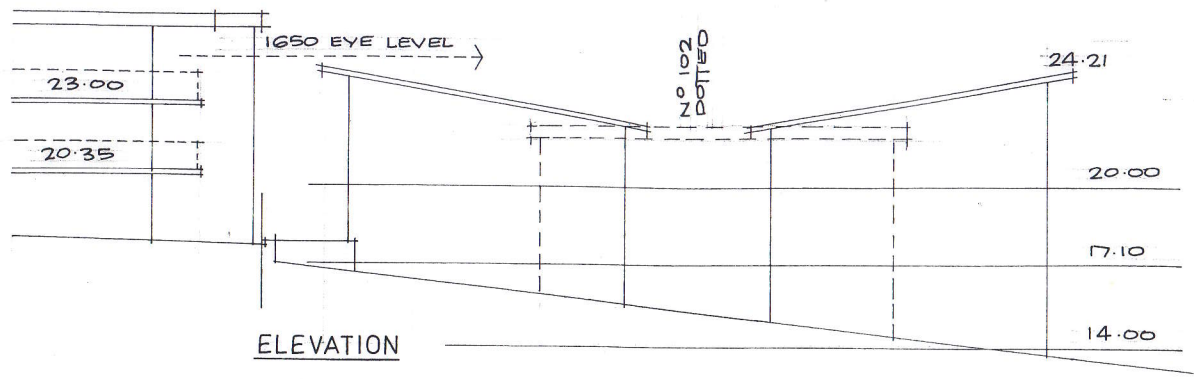
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June, 2016  
Drawing 13 of 14





P R I N C E S T R E E T  
20.115 WIDE

VIEW ANALYSIS 1 : 200

## VIEW ANALYSIS NOTES

**No 3 PRINCE STREET** – Adjoining western property.

### Upper Level

The upper most level of the adjoining property is only minimally affected by the proposal.

Clear views from this level from all doors and windows are still available in a south easterly direction towards the ocean, looking down and across Prince Street from the south side of the unit.

Views from the eastern rooms of the unit in a north easterly direction are not affected at all, as the top most point of the proposed roof line is 24.21 and the adjoining parapet level is 21.60 allowing clear views from the upper floor level which is 23.00.

The proposal in the north west corner of the development site is open courtyard with a single storey roof over the lift and stair which allows for clear views from the adjoining western site.

Views across the northern side of the site, in a north easterly direction, through the adjoining 102 Ocean View Drive, are still present and not affected by the proposal.

### Mid Level

The mid level of the adjoining property is slightly more affected than the upper level.

Views are still available in a south easterly direction from the existing windows and deck area, towards the ocean, looking down and across Prince Street.

The north easterly views are slightly affected but are still provided across the northern side of the site, through 102 Ocean View Drive. With the adjoining 102 Ocean View Drive roof parapet level of 21.60, views in the north easterly direction are already limited.

### Lower Level

Views from this lower level are already restricted due to its floor height and positioning of windows and sliding doors.

### Summary

Ocean views are still available to each level of the adjoining No 3 Prince Street from some point within the individual residences.

By designing an open courtyard space in the north west corner of the development site, this provides a more open visual façade and minimal impact for the adjoining western site habitable rooms.

Alternatively, if a two storey residence was proposed at the rear of the site, close to the western boundary and with the site constraints ie natural site fall and vehicular access, these view issues would have a similar affect on the neighbor.

Solar access to the adjoining No 3 Prince Street is not affected during the winter months as demonstrated with the attached shadow diagrams.

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June, 2016  
Drawing 14 of 14